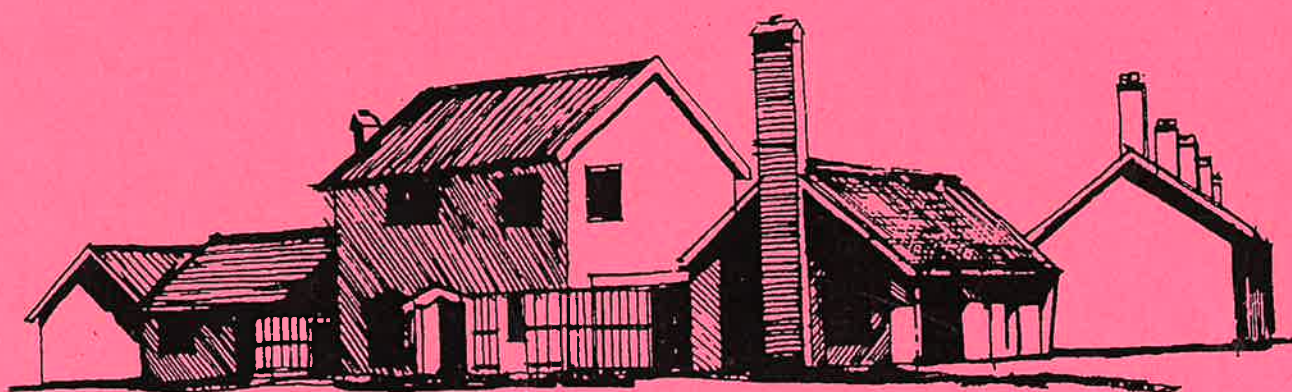

**LOCAL AUTHORITY HOUSES
DESIGNED BY TAYLER AND
GREEN, ARCHITECTS, FOR
THE FORMER LODDON
RURAL DISTRICT COUNCIL**

**ALTERATIONS AND REPAIRS
DESIGN GUIDANCE
FOR OWNERS AND TENANTS**



CONTENTS

PREFACE

(A JOINT STATEMENT TO BE PREPARED BY
THE CHAIRMAN OF PLANNING AND HOUSING
COMMITTEES?)

INTRODUCTION

PRESSURE FOR CHANGE

THE AIMS OF THE GUIDELINES

DESIGN GUIDANCE:

6. **WINDOWS:** Design & Materials
 Glazing
 Double Glazing
 Security
10. **EXTERNAL DOORS:**
 Design
 Materials
12. **CANOPIES AND LATTICES**
14. **INSET PORCHES**
15. **ROOFS AND GUTTERS:**
 Roofing Materials
 Chimneys
 Gutters & Downpipes
 Bargeboards
19. **EXTERNAL WALL PAINTING
 AND COLOURS**
21. **FRONT GARDENS, WALLS, FENCES AND
 HEDGES:**
 Front Gardens
 Walls, Fences & Hedges
 Car Parking
23. **EXTENSIONS**
25. **SATELITE DISHES**

CONTENTS

APPENDICES

27. APPENDIX 1

- A. PROPOSALS FOR WHICH
PLANNING PERMISSION IS REQUIRED**
- B. HOW TO APPLY FOR
PLANNING PERMISSION**
- C. WHERE TO OBTAIN FURTHER ADVICE**

29. APPENDIX 2

- A. LIST OF HOUSES AFFECTED BY
THE ADDITIONAL PLANNING CONTROL**

Addendum

Please note that on the 19 November 1998, the following buildings were added to the statutory list of buildings of special architectural or historic interest by the Department of Culture, Media and Sport.

Property Details

Bergh Apton

Church Road 7, 8, 9, 10 & linking wall

Church Road (southside) 11-13, 14, 15, 16 & screen wall linking with 17 & 18, 17, 18

Ditchingham

Hollow Hill Road 25-39 (odd)

Scudamore Place 1-28 (consecutive) attached screen walls, garages

Thwaite Road 16-20 (even)

Windmill Green 1-9, 10-17, 18-30 (consecutive)

Gillingham

Forge Grove 1-15 (consecutive)

Kenyon Row 1-2 with attached walling

Loddon

Davy Place 1-6 and the Common Room

Davy Place 10-14, 15-20 (consecutive)

High Bungay Road 5, 7 & 9 & attached wall to east of No. 5

Low Bungay Road 3-13 (odd) Davy Terrace
6, 8 & 10 & wall attached to west of No 6

All the buildings are listed Grade II. This effectively means that any proposals to demolish, alter or extend the building in any way which affects its special character, will need listed building consent.

Further details can be obtained from the Conservation Section of South Norfolk Council's Planning Department.

The Article 4 Direction still applies to these buildings which are now listed.

FOREWORD

20th January 1992

Dear Owner/Occupier

The Planning and Housing Committees of your District Council have welcomed these guidelines. They hope that they will help owners and tenants to appreciate and protect the unique character of these remarkable groups of Local Authority houses.

The designs (by Tayler and Green Architects), were advanced for their time and have been honoured with several national awards for their aspiration to provide in the post war era well planned, comfortable housing. Each attractive group has a special character of its own, reflecting the local building styles and materials, whilst still being essentially 'modern' and progressive. Imaginative landscaping was a special feature.

It is perhaps unusual to find public housing of such a pleasing character, and today these houses are still providing good quality homes, forming an important part of the Council's housing stock.

The guidelines recognise the need for change. We hope that you will agree that these houses have a special status, and that there is a mutual benefit in caring for their character. A sense of pride in locality is a wonderful asset.

Yours faithfully



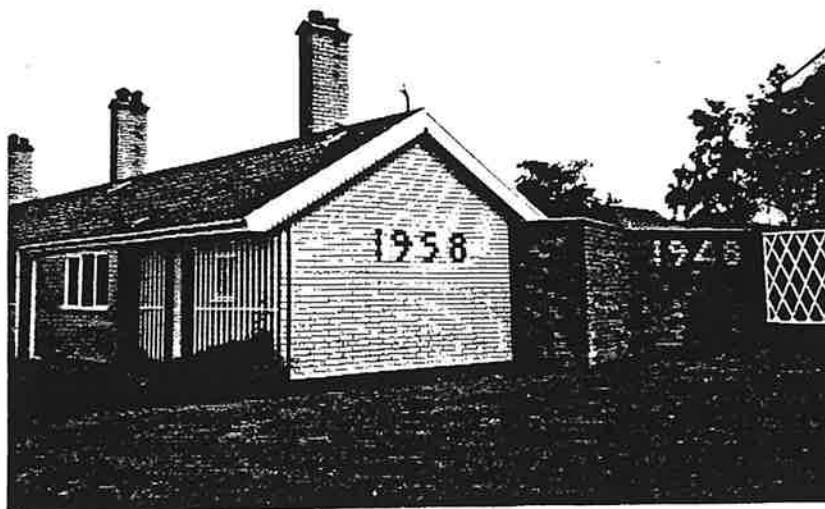
Lady Knollys
Chairman Planning Committee



Mrs. J. Caldwell
Chairman Housing Committee

INTRODUCTION

- 1 In 1947 the former Loddon Rural District Council, which now forms part of the South Norfolk District Council area, commissioned the local architects firm Tayler & Green of Lowestoft, to design its local authority houses. During the 1950's and 1960's this firm designed some 739 houses for this former Council. The quality of the individual house designs and the estate layouts produced achieved national recognition.
- 2 This recognition reflected that the designs used locally found features and materials, such as clay pantiles, colourwashed walls with black bases and decorative barge boards on gables. These were combined with design features such as the use of "modern" cast iron windows, geometric brick patterns on the facades and an unusual range of decorative canopies and lattices (now recognisable as a 1950's "style"). The architects intentionally set out to provide "individual" houses which were designed with the occupants in mind, and were in many ways advanced for their time in terms of their internal layouts and space standards.
- 3 Externally great care was also taken with the layout of gardens, paths and roads, hedges and trees. The larger house groups were planned around communal open spaces, echoing village greens. These features now provide attractive mature settings for these unique groups of both family houses and housing for the elderly which also incorporate community halls, another novel feature in that period.
- 4 A record number of national awards were given at the time. These included five Festival of Britain awards in 1951, the Royal Institute of British Architects Bronze Medal in 1958, a Civic Trust Award in 1957, three Ministry of Housing Medals in 1959, 1961 and 1964, and a Ministry of Housing Commendation in 1958.



LOCAL AUTHORITY HOUSES DESIGNED BY TAYLER AND GREEN, ARCHITECTS,
FOR THE FORMER LODDON RURAL DISTRICT COUNCIL

PRESSURES FOR CHANGE

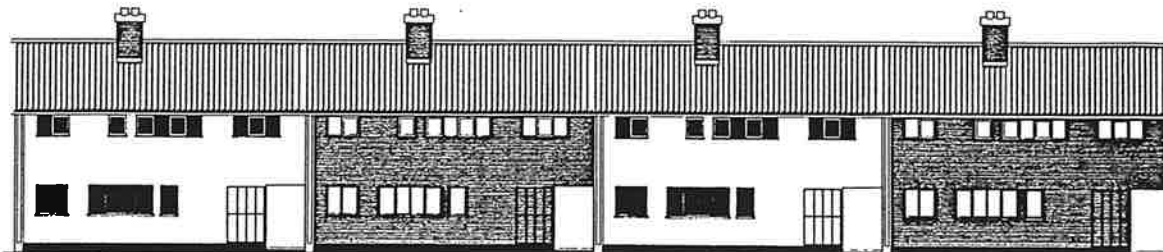
- 5 The South Norfolk District Council, which is still the owner of many of these houses, is concerned that any changes, which are necessary to reflect current living requirements, should be carefully controlled. Any changes should respect the original quality of the design and layouts.
- 6 The Council can control such changes where the houses remain in its ownership, but the "right to buy" legislation means that private owners could make significant changes to their houses without the need to apply for planning permission. Unsympathetic changes for example to doors, windows, removal or trellises, parking in front of gardens etc., could affect the unique character of these houses and their surrounding, which in turn could in the long run affect property values. A well looked after area will be more attractive to private buyers.
- 7 The Council fully recognises the need for the houses to be adapted to suite changing requirements but feels that these should be controlled to ensure they are carried out in a sympathetic manner.
- 8 In 1986, after public consultation and local public meetings, the Council applied for and were given additional planning powers by the Secretary of State for the Environment (known as Article 4 Directions) to control these kinds of detailed changes. These were revised in 1989 and were again approved by the Secretary of State. This approval means that owner occupiers will now require planning approval to carry out many detailed changes to the houses. A list of the proposed alterations which will now require planning consent, and how to apply, are set out in Appendix 1. With regard to tenants, approval of such changes by the Housing Manager will continue to be required as at present.
- 9 Appendix 2 is a list of the houses affected by these additional controls. However it is hoped that private owners of houses not covered by these controls will also read this guidance and appreciate the value to them of sympathetic alterations.



THE AIMS OF THE GUIDELINES

- 10 In seeking these additional planning powers, the Council felt it was essential that guidelines were prepared as an aid and guide to any proposed changes to houses. It is also hoped that owners not affected by the additional control will use these guidelines when making changes to their houses.
- 11 Accordingly these guidelines:-
- explain the importance of houses and their settings, and the architectural features which are of interest;
 - provide clear advice, to both owners and tenants, as to what changes would be acceptable;
 - concentrate in particular on those alterations which could affect the front, sides, roofs and gardens of the houses.
- 12 The following pages give advice on how alterations can be carried out in a sensitive and sympathetic manner. If you wish for further advice or clarification please contact the Council officers listed in Appendix 1(c).
- 13 The Council believes that in preparing this advice it will gain the necessary support and co-operation of owners and tenants of these houses. This will allow their unique quality to continue to appreciate in the future, as well as continuing to provide attractive houses to live in.

YOUR SUPPORT, INTEREST AND CO-OPERATION WILL BE APPRECIATED



WINDOWS

- 14 Tayler & Green used a range of steel window types from the Crittall "Z" range, which are still available. The windows were carefully arranged to make an attractive, balanced composition, within the facade of the individual house, and the window heads and sills were almost always lined up with the next house. Figure No.1 shows a selection of the original window types.

The Council recognises that windows will occasionally need replacement, and new ones may also be needed to suit internal re-arrangements.

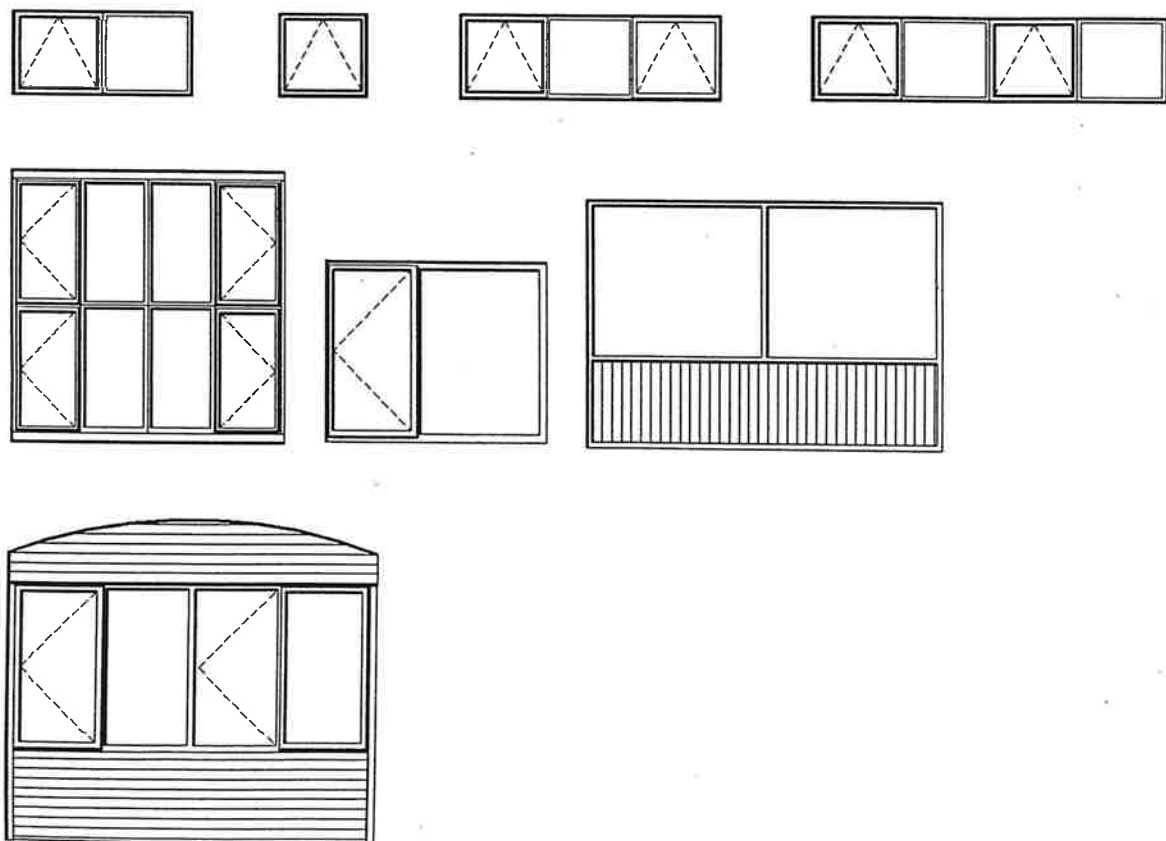


Figure 1. A selection of original window types.

REPLACEMENT WINDOWS

15 Acceptable replacement windows should:-

- match the style and proportion of the originals (see Figure 1);
- be ideally of painted steel to match the original designs. Plastic coated (UPVC) windows will be acceptable only if they match the exact pattern, opening methods and colour of the originals. UPVC replacements should also match the former steel sizes as closely as possible (UPVC window sections vary widely in width between different manufacturers);
- have plain window panes;

The following changes to windows should be avoided and will be unacceptable because they would not reflect the simple patterns of the originals:

- changing the shape (thus interrupting the line of the openings);
- changing the opening method (for example from side hung casement sashes to top vents). This can look wrong in a regular group of houses;
- changing the patterns of subdivision. This will also affect the regularity of the group; Figure 2 shows some common types of alterations which are unacceptable.
- The use of stained or painted timber frames, since these are thicker in section compared to the existing steel frames. Stained finishes will especially "clash" with the house facade because of the dark colour, which also draws attention to the thicker timber sections.
- The use of "Crown" "bottled or leaded" glass window panes (see Figure 2). These decorative features are not appropriate to these simple attractive houses, whose windows and doors are modern in proportion and style. A miss-match of features such as this look out of place in a group of houses of uniform design. Far from adding to the individual character, they can make it stand out as "over-fussy" in a group of houses of uniform and simple character.



Figure 2. Unacceptable alterations.

DOUBLE GLAZING AND SECURITY

- 16 Secondary double glazing is appropriate where the existing windows are in good condition. If the existing windows need replacing Crittall steel double glazed units, or others similar in design and appearance could be used. Well proportioned white UPVC (windows) can match the original if carefully chosen to match the originals in all respects.

SECURITY

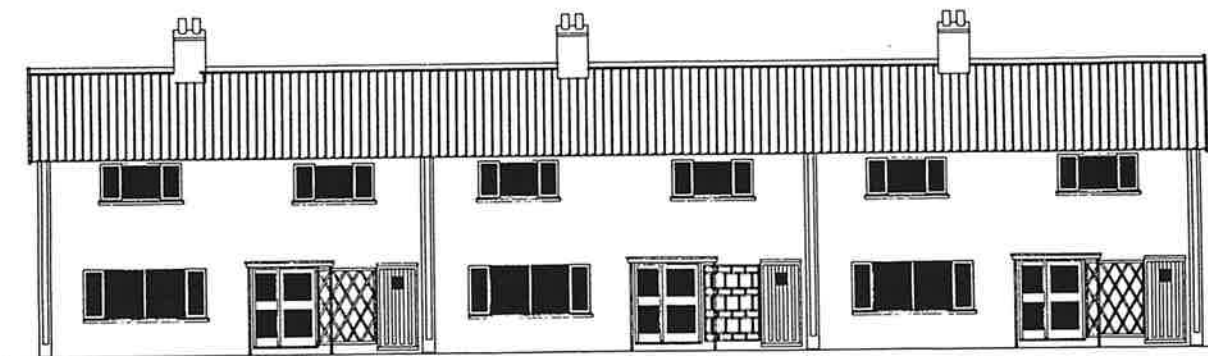
- 17 Some people are worried about security on their windows when they are in, especially at night. A double catch for night ventilation can secure windows especially on the ground floor. It is not necessary to alter the window type. Top vents affect the proportions of the windows, and are not acceptable (see figure 1). In many of the housing units built for the elderly, there is also a rear window to the flat which can be opened.

NEW WINDOWS

- 18 New windows will only be acceptable in limited circumstances, where they will not seriously affect the general pattern of windows in the group.

For example when converting the store-room to a living room a new window will be acceptable as long as this lines up with the other windows and has the same type of sill and lintel. The sub-divisions and window type should also match the others. The lattice should not be removed completely, but left to cover the brick work around the new window.

It will not be acceptable to change the shape of existing window openings, as this will disrupt the pleasing pattern of windows in the group.

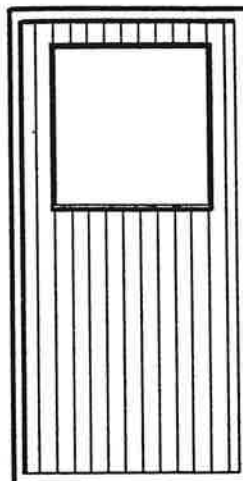
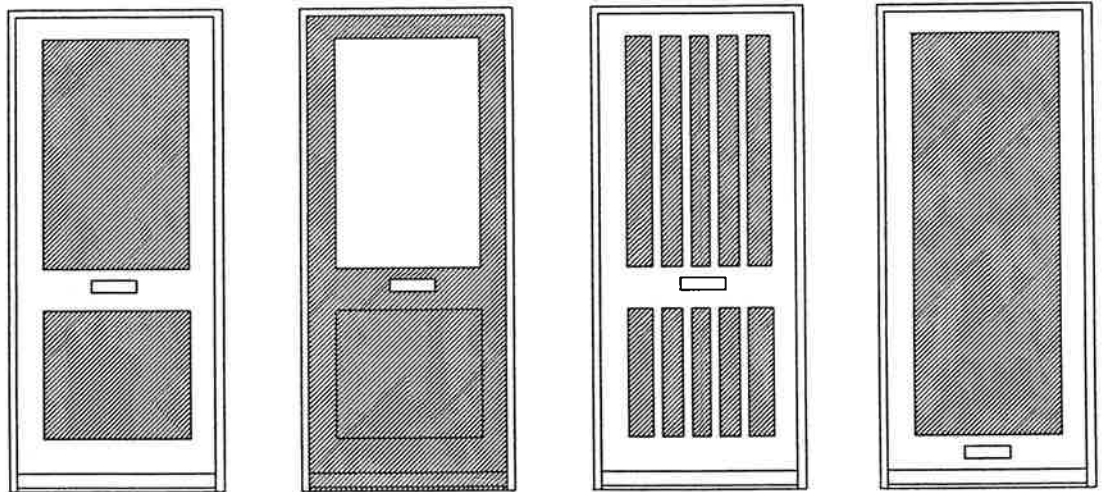


EXTERNAL DOORS

- 19 The original front doors and service doors were purpose designed by Tayler & Green, at a time when "standard" doors were not so widely used. The influence of their joinery design was considerable, and designs similar to theirs are now widely used in modern homes. It is important to note the difference between front doors, which were mostly glazed, and the service or side doors which were mostly painted solid timber.

Figure 3.

A selection of original front door types.



A service door.

20 Acceptable replacement doors should:

- reflect the designs illustrated in Figure 3. (The doors designed for these houses are of a different height and size to the standard "catalogue" doors manufactured today. Some catalogue doors are however very similar to the original designs and could be acceptable if they can be neatly altered to fit the opening. Local joiners should be able to make matching replacements where these are necessary, and simpler forms of UPVC or aluminium can be acceptable as replacements);
- be of a dark colour, as the colour contrast to the rest of the house was an intentional feature;
- retain the difference between the glazed doors and the solid service doors.

21 The following changes to external doors should be avoided and will be unacceptable, because they would not reflect the simple, modern character of the originals:

- the use of "cottage" and "historical" style door types. These replica styles (usually not bearing any resemblance to the real thing) do not match the simple modern character of the original doors. Mahogany and stained hardwood versions of these doors are especially unsuitable, and UPVC versions also clash with the character of the houses.

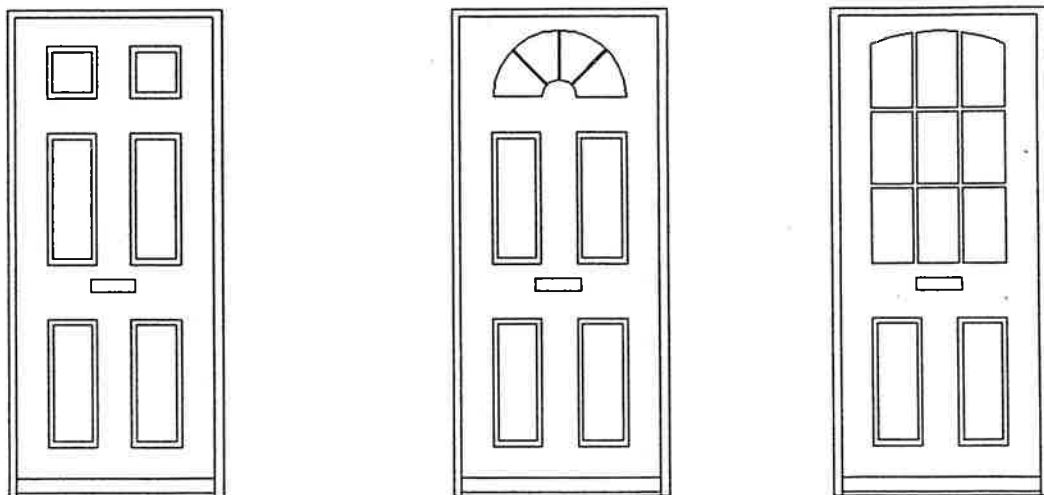


Figure 4.

Unacceptable replacement doors.

CANOPIES AND LATTICES

CANOPIES

- 22 One of the most attractive and unique architectural features of the Tayler and Green houses is the wide variety of decorative feature canopies over front doors. These canopies, when combined with the decorative wall lattices, provide each house with an individual geometrical character. Many of the designs contain interesting wrought iron patterns with elegant slim construction. Figure 5 shows just three of these types.

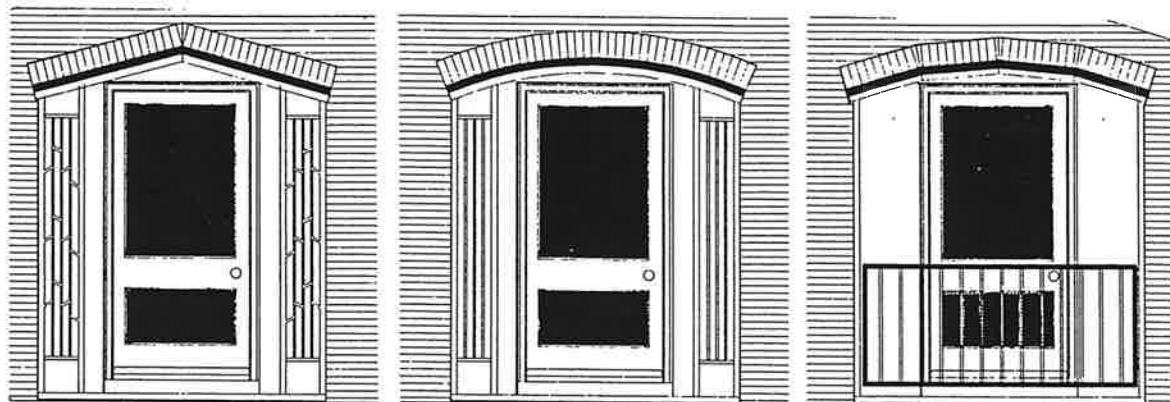


Figure 5.

Three types of canopies.

In some groups the shape of the canopy was intentionally varied from house to house. In others only the decorative wrought iron lattice patterns were varied.

Canopies and their iron lattices should be retained and any necessary repairs should match the existing individual design exactly.

Proposals to infill the canopy, or to provide a new enclosed storm porch will be unacceptable. Nearly all the house types were provided with internal halls, and it is not necessary to infill the external porch.

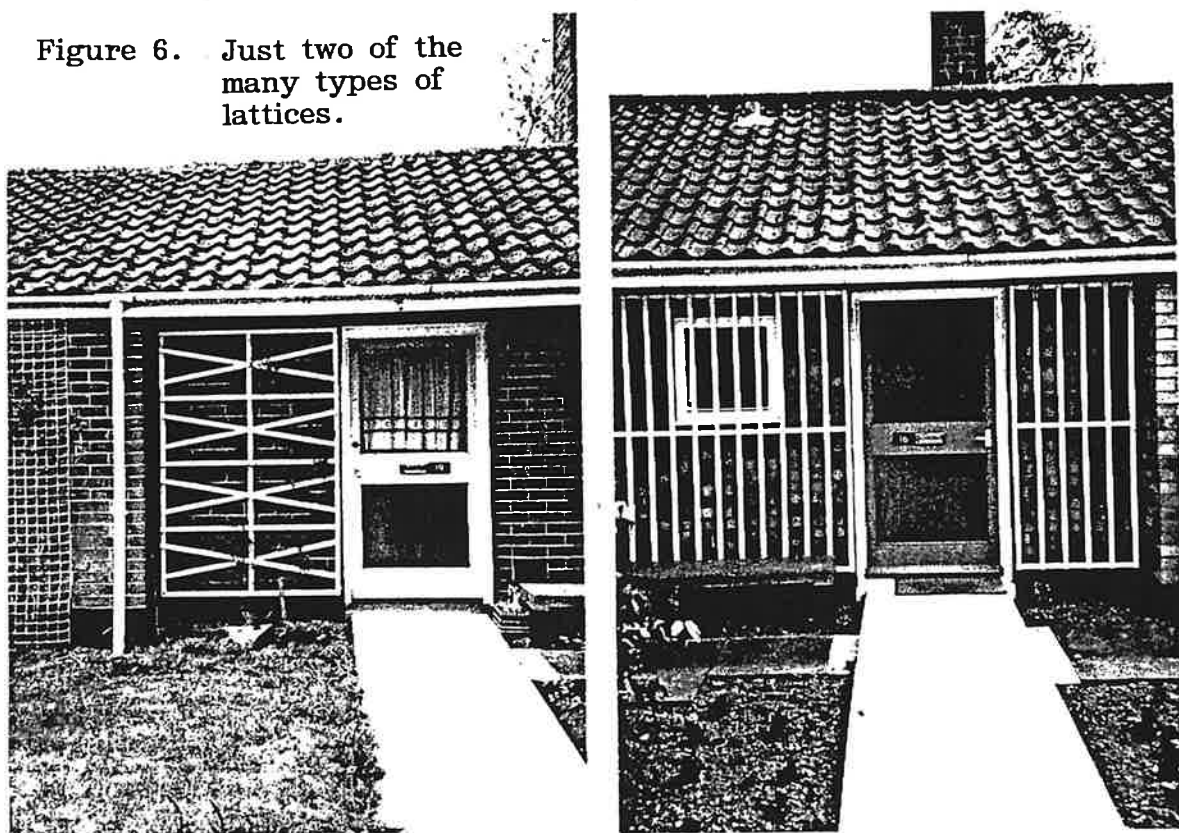


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LATTICES

- 23 As with the projecting canopies, the architects deliberately created a wide range of patterns for the decorative white painted timber lattices, which are almost universally used as a key architectural feature on the front facades (see Figure 6). Lattices were linked with the lines of windows to create a "band" across a group. They were also used as simple features, or to cover up an odd window which was of a different size to the others, or occasionally cover a gable end. These architectural "tricks" give pleasure and individuality, and they should be retained.

Figure 6. Just two of the many types of lattices.



- The removal of any timber lattices will be unacceptable, as this would affect the proportions of the buildings and the composition of the group.

Acceptable replacement lattices should:

- be painted white and made of timber sections of the same thickness as the original. White UPVC strips could be used if constructed to match the original exactly;
- be of the same pattern as the original.

INSET PORCHES

- 24 These porches are a common and useful feature, but there is a problem with heat insulation to the floor above. The infilling of these porches can be useful, and will not seriously alter the appearance of the houses if the infill screen is carefully designed.

Acceptable infill screens should:

- use a door design (see para 6) and a window pattern which closely follows the pattern of the existing ground floor windows and door examples of which are shown in Figure 7.

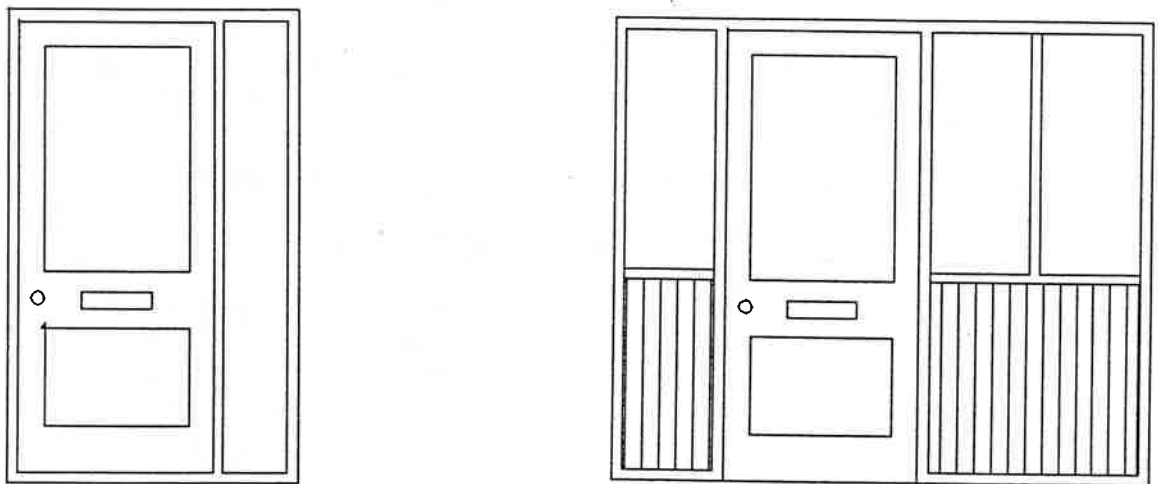


Figure 7. A suggested infill screen for a narrow and a wide inset porch.

ROOFS AND GUTTERS

- 25 The design of the roofs was given much thought and care by architects, who made careful decisions about materials and details such as barge boards on the gables, and the design of the chimney stacks. For this reason many of the groups sit well in their open landscape setting, or attractively follow the slopes of the land.

ROOFING MATERIALS

- 26 Clay pantiles, slates and concrete tiles were all used by the architects. Where repairs are required, matching materials should be used where the original roof is a clay pantile or slate. This will maintain the attractiveness of the property. New concrete tiles can be used where such tiles were initially used, and their colour should match that of the group. In some groups, where there was a deliberate variety of colours it may be possible to change the colour of the roof. In others, uniformity was an important feature, and in these cases planning permission will not be given to change the materials or their colour.

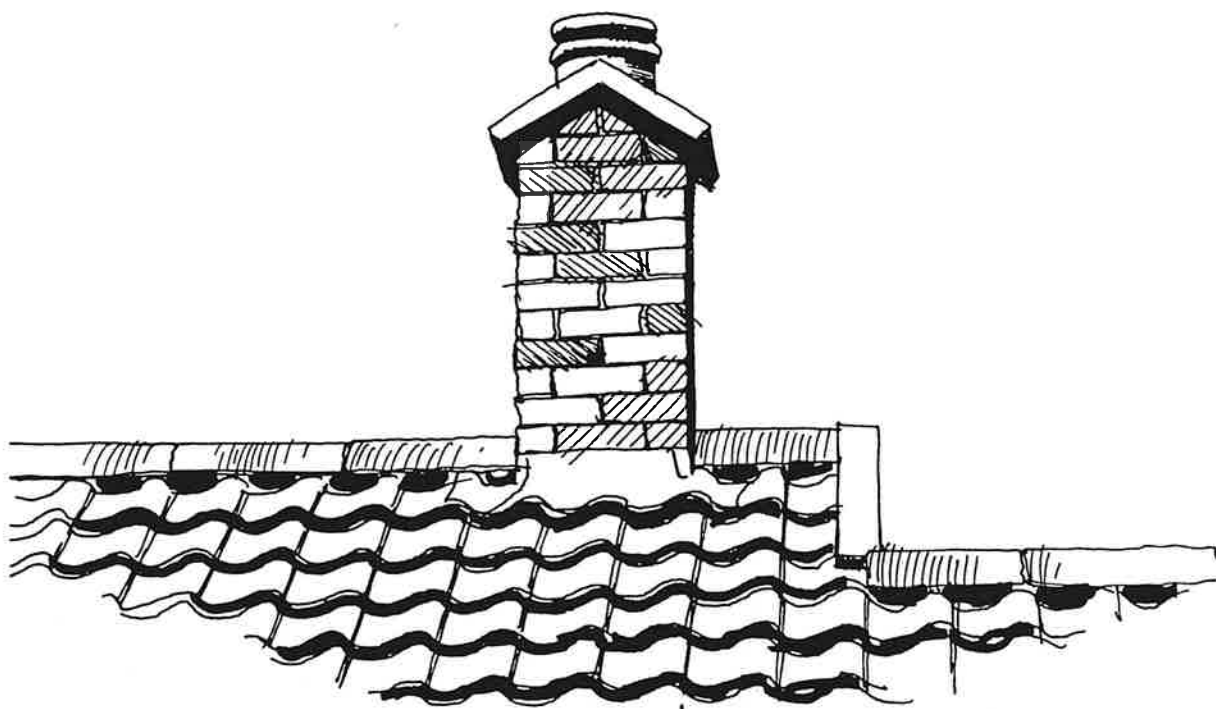


CHIMNEYS

27 Chimney stacks are a special feature of the house designs and form an important part of the roofscapes of the house groups. They have an interesting capping common throughout which should be retained and repaired since it has almost become the hallmark of these estates (see Figure 8).

- Retention of chimney stacks is therefore strongly encouraged. Planning permission for their removal is required and this will be resisted.

In seeking their retention the Council is aware that installation of central heating may mean that some chimneys are redundant, but open fires and solid fuel stoves are now becoming more popular and the stacks represent an option for the future use of these alternative methods of heating.



GUTTERS AND DOWNPIPES

- 28 The architects generally used cast-iron gutters. In some instances, an angled downpipe was used (see Figure 9), and in a few cases these remain. They form an unusual feature in the streetscene especially when viewed along a row of houses. Some have been replaced by conventional downpipes. As these angled downpipes are a notable "1950's" feature and unique, they should be kept wherever possible.

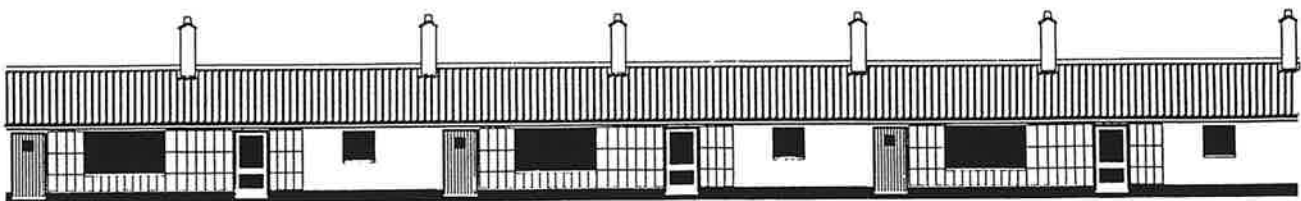


Figure 9.

An angled downpipe.

29 Replacement gutters and downpipes should:-

- match the original cross section type, to avoid looking out of place in a group, (aluminium can be used as a replacement for the cast iron).
- be painted or coloured white to avoid the heavy lines of black or brown;
- be angled where the existing one is angled (the replacement of the remaining angled design downpipes by conventional design will be resisted).



BARGE BOARDS

- 30 These are the wooden boards placed at the ends of the roof to act as weather protection (see Figure 10). The architects deliberately made these a decorative feature of the houses by fret-cutting them into patterns and they echo an historic tradition of the District. Their use gives a special touch of craftsmanship to each house.

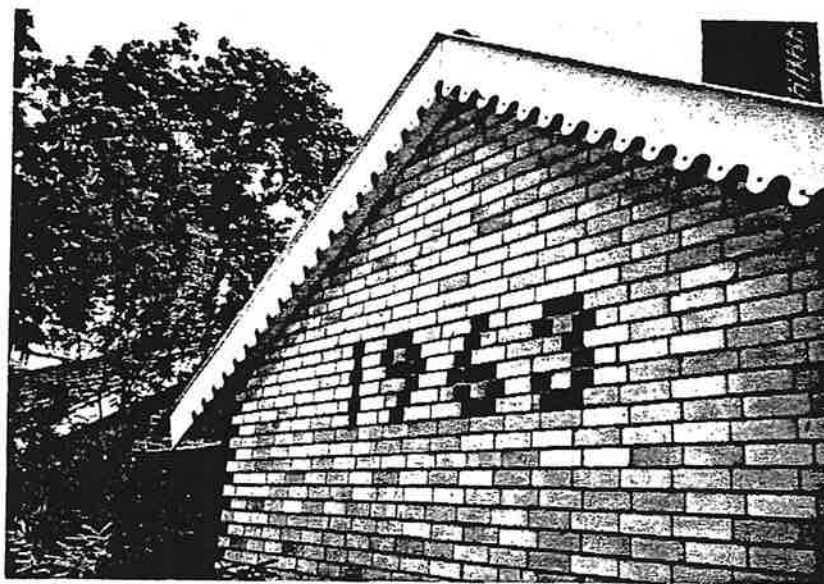


Figure 10.

Replacement bargeboards should:

- be a replica of the design of the board to be replaced;

Replacement by plain boards will not be acceptable, as this would mean the loss of a unique design feature which adds greatly to the interest of the roof lines. The designs can be executed on a "jig-saw" and local joiners should be able to reproduce them. Timber should be pressure treated with preservative and the use of microporous paints is advised, to reduce maintenance costs.

EXTERNAL WALL PAINTING AND COLOURS

31 NATURAL BRICKWORK

Natural brickwork was cleverly used by the architects when designing the composition of the groups. Gable ends and garden walls were built using decorative brickwork features and patterns, giving each estate an individual identity. Painting over natural and decorative brickwork could seriously affect the architectural interest of the group and will also lead to unnecessary and costly maintenance.

- Proposals to paint over natural brickwork will not be acceptable.

32 COLOURS

The architects used a range of subtle pastel colours, many of which were traditional to the area such as pinks, creams, white and occasionally black in a deliberate and carefully balanced composition of each group. They also used black and white very effectively on some sites, where the bases of the walls were black, and windows and walls were simply white. Doors were always a darker contrasting colour, which was selected from a range to harmonise with the colour of the main wall.

- Changes of colour may be acceptable provided there is already a contrast with the adjacent house. The colour should however be carefully chosen with the overall balance of the group in mind.
- In terraces of a uniform colour, a colour change will not be acceptable;
- The use of colours other than those recommended below will not be acceptable.

33 The recommended colours are:

Front & Rear Doors

CINNAMON (light brown)
06D43

BISON (dark brown)
08C39

TRAFALGAR (dark blue)
20D45

SCARAB (dark blue/green)
16D45

MONARCH (deep red)
04D45

POPPY (bright red)
04E53

Service Doors

FLAKE GREY (light grey)
10A03

Walls

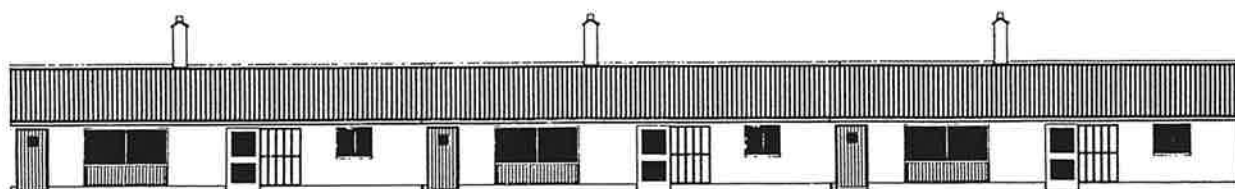
HOPSACK (light beige)
10B17

JONQUIL (light creamy/yellow)
10E49

ALPINE (light green/cream)
14C31

SHELL (pink)
04C33

BLACK (occasionally)



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These are trade names which may vary, but the reference number is a British Standard. You should always ask for this number when selecting your colour.

Windows were always painted white, as were gutters, downpipes and bargeboards, but front doors were a dark colour (which can be to the occupants choice), to allow it to be the dominant feature. However service doors and garage doors were always a light grey in order to reduce their impact.

FRONT GARDENS, WALLS, FENCES AND HEDGES

34 FRONT GARDENS

One of the most notable features of these groups of houses is their generous and mature landscape setting, and attractive front gardens most unusual for local authority estates, built partly in the post-war time of austerity. It was recognised then that care in preserving existing features (such as trees, banks and hedges) and care in the siting of the development into the contours of the land could be very attractive.

This attractive environment is adversely affected if these front gardens are concreted over, hedges taken out and concrete block or brick boundary walls built. Whilst this effect is small in the beginning, if more of these changes take place the character of the whole street changes for the worse, making the locality less attractive.

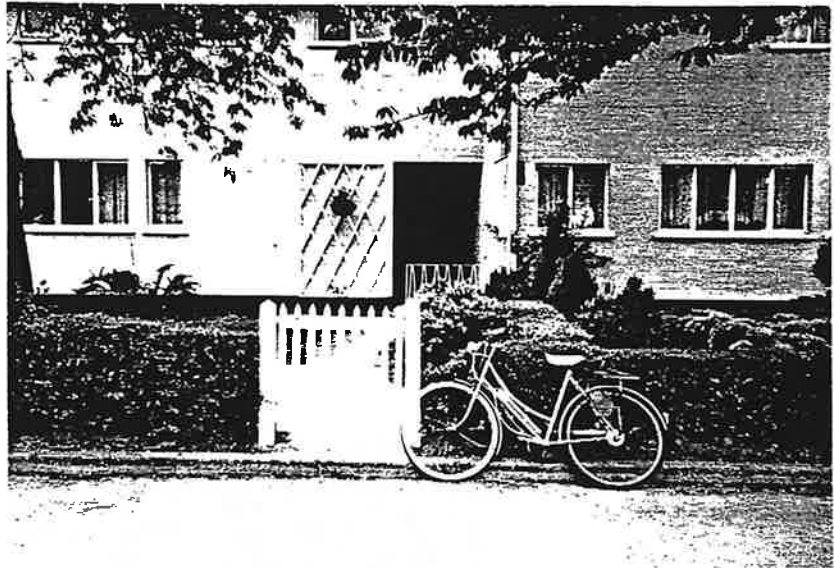
Occupants occasionally are unable to maintain lawns or gardens. In this case it may be possible to re-design the front areas to incorporate features that require very little or no maintenance, once they are established. Small shrubs and low ground cover in gravel covered beds would be one possible solution. Whilst maintenance can never be totally eliminated, it can be significantly reduced. There is a wide variety of suitable plants for this purpose and the District Landscape Officer would be able to advise on some appropriate combinations.



35 WALLS, FENCES AND HEDGES

Front garden areas and communal paths were carefully planned. Hedges were most commonly used to enclose front gardens, with attractive simple white picket gates. Brick walls were only used as features to link ends of terraces and to turn corners, and there are many interesting variations of these. Occasionally timber privacy screens were used at the back. As a result the front gardens have a soft and green character. Removal of mature hedges spoils this attractive feature. Brick or block walls, or solid sectional timber fences look out of keeping, whereas open and low timber picket fences retain the original feeling, especially if plants and shrubs are planted behind them.

- Retention of existing walls and fences and hedges will be encouraged. Proposals to remove them will be not be acceptable.
- Where replacement fences are proposed, their design should reflect the traditional rural types, such as the typical white picket fence.



36 CAR PARKING

The parking of a car on the front garden affects the attractive garden setting of the house and is a nuisance to neighbours. There is usually adequate space outside each house to park a car, and garage blocks are available. The Council aims to provide landscaped laybys in the areas where they are needed, subject to finance being available.

- Proposals to construct a cross over and to create a parking space in front gardens will be unacceptable.

EXTENSIONS

- 37 The Council acknowledges that some owners or tenants may wish to extend their homes.

In certain instances such extensions may require planning permission under the general planning legislation, and not because of the additional special powers the Council has obtained to control the development (see Appendix 1).

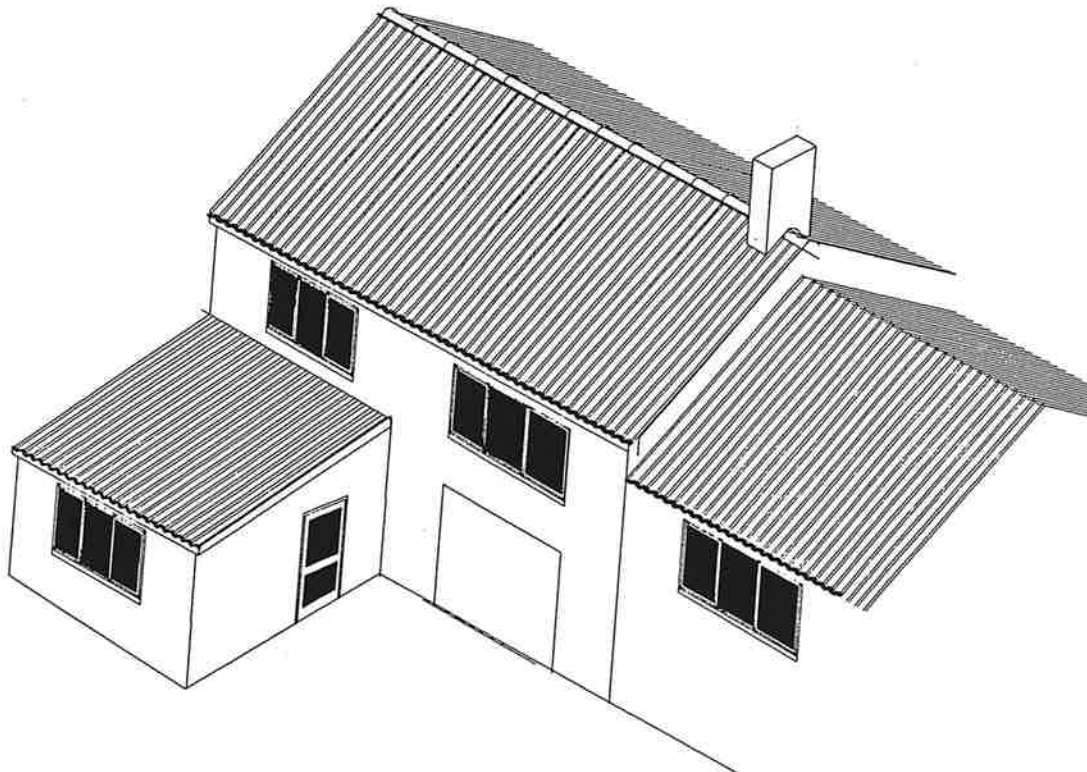
Any extensions which will be in front of the existing front building line or at the side of a house, will require planning permission. With a few minor exceptions all extensions will require Building Regulation approval.

Before a start is made it is advisable to check whether planning permission is required by contacting the Planning Department. (See Appendix 1(c) for contacts.)

Extensions will need to be carefully sited and designed to complement the house and the group.

REAR EXTENSIONS

- 38 - Large extensions, especially two storey ones, may in some groups be very visible, especially in house groups situated in the open landscape. They could be very dominant and could seriously detract from the appearance of the group. They can also affect the amenity of neighbours. Two storey rear extensions will not be recommended for approval.
- Figure No. shows a suggested form for a rear extension.



FRONT AND SIDE EXTENSIONS

39 As mentioned earlier the estates were carefully laid out with landscape features such as trees, banks and hedges and attractive front gardens.

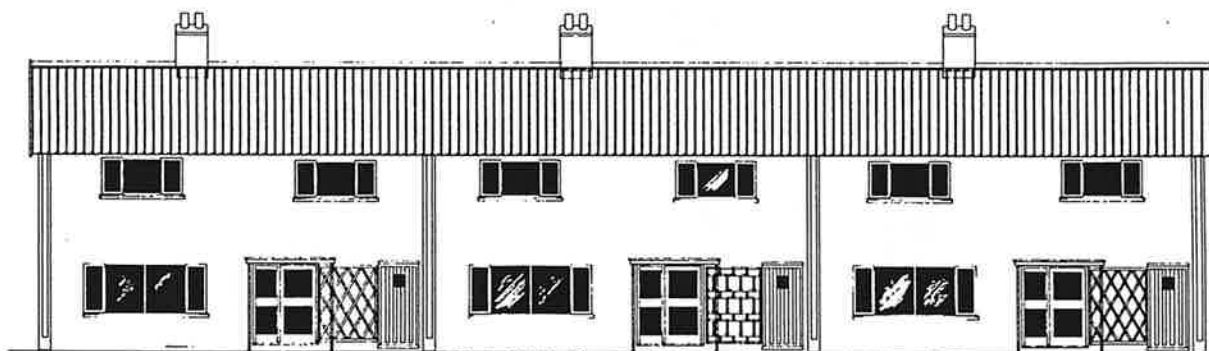
- Sheds and greenhouses should be erected in rear gardens to avoid "clutter" in front gardens. It will not be acceptable to erect them on the garden area covered by the Article 4 directions;
- garages and car ports in front gardens will also be unacceptable. These are dominant because of their size, and would spoil the group appearance of the houses. They may also affect the amenities of the neighbouring properties.

LOFT CONVERSIONS

40 The uncluttered rooflines are an important feature of the groups.

Any alterations to the front roof slope or ridge line (which requires planning consent) would be very damaging to the rooflines of the groups, and will not be acceptable.

- Similarly dormer windows or rooflights (commonly called Velux's) on the front roof slope will affect the rooflines and appearance of the houses, and will be not acceptable;
- Dormer windows in the rear roof slope should be carefully designed (an example is as Figure 13 below). Flat roofed dormers should be avoided.



SATELLITE DISHES AND TELEVISION AERIALS

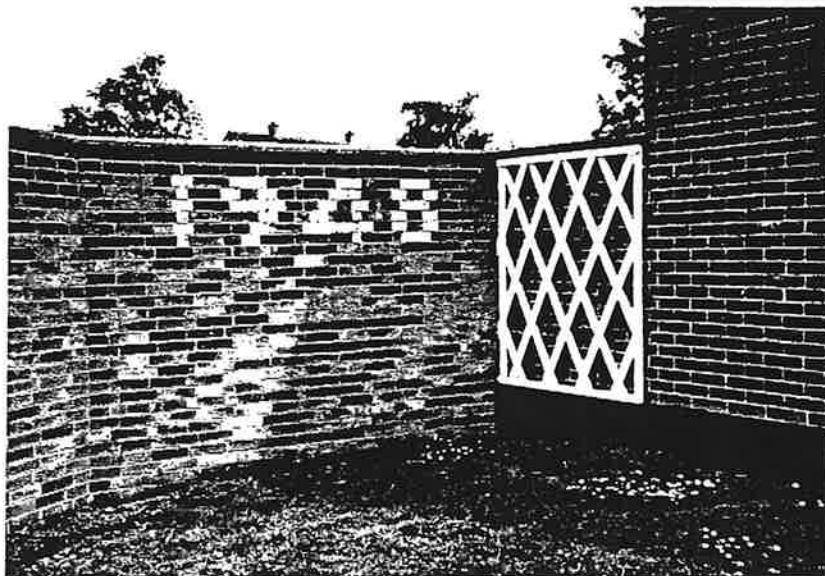
- 41 These projecting receivers are very noticeable and spoil the appearance of the houses. Community cabling (sharing between neighbours) could be investigated in certain locations. The dishes should be confined to rear gardens, and if necessary they could be placed on poles in the rear garden.

Proposals to fix satellite dishes to the front or side walls of houses will not be acceptable. It is advisable not to enter any agreement to purchase a dish until planning approval has been granted and in the case of tenants, approval of the Housing Manager has also been given.

Proposals to erect T.V. aerials to the front, side or roof of the houses will not be acceptable.

SOLAR PANELS

- 42 The conservation of energy is an important issue, but the appearance of these large panels on a front roof slope could seriously affect the appearance of the house and the group. It is recommended that the panels be erected in the rear garden or on the rear roof slope. Solar panels on the front roof slopes or walls or in the front garden will not be acceptable.



APPENDIX 1

A. PROPOSALS FOR WHICH PLANNING PERMISSION IS REQUIRED

1. The following list summarises those proposals which will now require planning permission.
2. Essentially, planning permission is required to alter the front, side, roof (including front or side fences) of your house. (This is in addition to the requirement of obtaining planning approval for extensions above a certain size and you should check what this size is with the Planning Department). It is also required to erect any structure in the front or side garden.

PLANNING PERMISSION MUST NOW BE SOUGHT TO:

- take out the existing windows and replace them with a window of a different type, which includes the use of a different material such as UPVC, stained or painted wood, or aluminium;
- install new windows in new openings, or to alter the existing opening;
- change the front doors, which includes the use of a difference material such as UPVC, stained wood or aluminium;
- fill in the porches or canopies;
- erect new porches or canopies;
- paint natural brickwork, or to repaint walls or windows in a different colour;
- change the roofing materials or colour, or the barge boards;
- put in a dormer or a rooflight in the front roof slope;
- erect a satellite dish on the front or side wall or in the front or side garden;
- take down a fence or hedge, or erect new types of walls, fences and gates;
- provide a hard-standing area for a car in the front or side garden;
- remove chimney stacks;
- to erect an extension to the front or side of the house, (or a rear extension over the limit allowed by the normal planning regulations).

B. HOW TO MAKE A PLANNING APPLICATION

3. You should obtain advice from the planning officer before you make an application, as this could save time and money. A scaled drawing will be required (usually 1:50) showing the existing and the proposed works clearly.
4. You will need to fill out the application form and pay the fee, about which you will be advised. You should not start work before written planning permission is given and this can take 6 to 8 weeks. If the house is within a Conservation Area, consent is also required to demolish parts of the building. In Conservation Areas a site notice will be displayed on your boundary when you apply. (See Appendix 2). Remember, if you are a tenant you must obtain both planning permission and the permission of the Housing Manager.
5. If work is carried out without obtaining the necessary planning consent, the Council has powers to serve an enforcement notice to require the works to be taken out and the house returned to its earlier appearance. Please avoid the risk by consulting your planning and housing officer before starting any work.

The Council has resolved to take firm action in cases where unsympathetic alterations are carried out without planning permission.

C. WHERE TO OBTAIN FURTHER ADVICE

PLANNING ADVICE

6. For planning advice please do not hesitate to contact the Council's Planning Department located at South Norfolk House, Swan Lane, Long Stratton (Tel. Long Stratton (0508) 31122). It is advisable to telephone first to make an appointment. A visit to your house can also be arranged if necessary. Planning application forms are available from the Planning Department, and these will also have a planning advice and information note attached. You should contact the Planning Department first.
7. Officers (in order of contact) in the Planning Department who will be pleased to help you are:
 - The Conservation/Design Officer (extension 2811/2812).
 - The Area Planning Officer who will be dealing with planning applications affecting these houses (extension 2832).
 - The Building Control Officer, who will be dealing with the construction of any extension (Extension 2821).

HOUSING ADVICE

7. Officers in the Housing Management Section will be pleased to advise tenants on any proposals. They are located at South Norfolk House, Swan Lane, Long Stratton (Tel. Long Stratton (0508) 31122 Ext. 2761). You should however get advice on the possibility of planning permission before approaching the Housing Manager.

APPENDIX B

A LIST OF HOUSES AFFECTED BY THE ADDITIONAL PLANNING CONTROL

<u>PARISH</u>	<u>ADDRESS</u>	<u>POSTAL NUMBERS</u> (inclusive unless otherwise stated)
Aldeby	St Mary's Row Waveney Cottages	1-15 1-6
Bergh Apton	Church Road	7-18
Brooke	Churchill Place Entrance Lane	1-31 9-29 (odd)
Chedgrave	Hurst Road The Rise	13, 14, 14a, 15-23, 25, 27, 29 1-7
Ditchingham	Hallow Hill Road Scudamore Place Thwaite Road Windmill Green	25-39 (odd) 1-28 12-20 (even) 1-30
Geldeston (Conservation Area)	Geldeston Hill Kell's Acres Kell's Walk Kell's Way	2, 4-11, 13-21 (odd) 1-9 1-5 6-24 (even)
Gillingham	Forge Grove Kenyon Row	1-15 1, 2
Hedenham	Smiths Knoll	1-13
Loddon	Princess Anne Terrace The Walks	1-9 2-8 (even) 10-24, 25-35 (odd), 64-80 (even)
Loddon (Conservation Area)	Davy Place High Bungay Road Low Bungay Road	1-6, 10-20 5, 7, 9 3-13 (odd), 6, 8, 10
Thurton	St Ethelberts Close	1-12
Wheatacre	Whiteways	1-13
Woodton	Everest Place Hilary Terrace Suckling Place Tensing Street Woodyard Square	1, 2 1-6 2-8 (even) 1-8 1-12

